

USE PERMIT PROVISIONS
Fountaingrove II - East

CITY OF SANTA ROSA
P.O. Box 1678
Santa Rosa, CA 95402
APR 17 1992

DEPARTMENT OF
COMMUNITY DEVELOPMENT

1. GENERAL PROPERTY DEVELOPMENT STANDARDS

- A. Development of all property within Fountaingrove II is subject to all provisions, standards, and requirements of the Policy Statement for the Fountaingrove II Planned Community District and the City of Santa Rosa Zoning Code.
- B. Open Space: Open space areas are provided for native plant and wildlife habitat conservation, preservation of visual values, preservation of natural drainage, erosion control, and passive recreation. Open space is classified as follows:
 - 1. Common Open Space
 - a. Permitted Uses: Passive recreational uses, including but not limited to, hiking trails, picnic areas, and other uses which do not significantly injure or scar vegetation, promote erosion, or interfere with wildlife use of the area.
 - b. Ownership/Maintenance: Common Open Space shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District).
 - c. Access: Common Open Space shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general public).
 - 2. Private Open Space
 - a. Permitted Uses: Passive recreational uses which do not substantially alter significant native vegetation. Detached accessory structures shall not be permitted in Private Open Space.
 - b. Ownership/Maintenance: Private Open Space shall be owned and maintained by the underlying private lot owner. Maintenance activities shall be minimal and shall not substantially alter significant native vegetation unless necessary to abate a hazardous condition documented by a certified arborist or the City of Santa Rosa Fire Department.

3. Open Space Easement

- a. Permitted Uses:
 - i) Driveways necessary to provide access to lots
 - ii) Emergency vehicle accessways as approved by the City of Santa Rosa Fire Department
 - iii) Passive recreational uses which do not substantially alter significant native vegetation
 - iv) Supplemental landscaping and "back-on" landscaping using plants listed in Appendix "A" of the Fountaingrove II Design Program
- b. Ownership/Maintenance: Open Space Easement shall be owned and maintained by the (Fountaingrove II Master Homeowners Association OR City of Santa Rosa with funding provided by a Lighting and Landscape District.
- c. Access: Open Space Easement shall be accessible (only to members of the Fountaingrove II Master Homeowners Association and their invited guests OR the general

C. Lot Development Standards - All Lots

1. Tree Preservation

- a. All trees shown on the approved Tentative Map as "tree to be saved" shall be considered "protected trees" under Chapter 17-24 "Trees" of the Santa Rosa City Code as adopted per Ordinance 2858. Such trees shall be protected and incorporated into the proposed site plan for the lot unless the tree is specifically recommended for removal by a certified arborist due to declining health or structural deficiency that would make the tree hazardous to residential dwellings. If any structures are proposed to encroach into the dripline of any protected tree, the site plan submitted in pursuance of a building permit shall be accompanied by a report from a certified arborist clearly stating that the tree has a high probability of survival in the long term and specifying measures to be taken to assist in preserving the tree.
- b. Tree removal on lots shall be limited as follows:
 1. All trees shown on the approved Tentative Map as "tree to be removed" may be removed.
 2. All trees shown on the approved Tentative Map as "tree which may be removed" may be removed if shown on the site plan submitted in pursuance of a building permit for a specific lot.

3. All trees with a trunk diameter greater than 6 Inches, as measured at four feet above grade, located between the rear building setback line and the rear property line, shall not be removed unless dead or documented by a certified arborist or the City of Santa Rosa Fire Department to be diseased or hazardous.

2. Fencing

- a. Property line fencing along rear and side yards, if desired, shall be open wire fence as detailed in the Fountaingrove II Design Program, except that side yard fencing along that portion of the side yard between primary residences may be solid and that side and rear yard fencing for Lots 223-253, 280-301, 323-344 as shown on the approved Tentative Map, shall be solid wood fence as detailed in the Fountaingrove II Design Program. (See Appendix "D").
 - b. Within Building Setback Lines, solid fencing as an extension of the architecture shall be permitted with approval of the Fountaingrove II Master Homeowners Association Architectural Control Committee.
- D. Construction of subdivision improvements and structures shall be limited to Monday through Friday between the hours of 7:00 a.m. and 5:00 p.m. Saturday hours shall be limited to 9 AM to 5 PM. All motorized construction equipment shall be properly muffled. The playing of radios and similar devices shall be limited to volumes that do not create a nuisance.
- E. Should any archaeological resources be uncovered during any site grading activity, all work within 30-yards of the discovery shall be halted. The City shall be immediately notified and a qualified archaeologist, approved by the City, called to investigate the find. No further grading within the 30-yard area of the find shall take place until such mitigation measures as may be recommended by the qualified archaeologist are completed by the subdivider or, in the alternative, until such other or alternative measures as may be approved by the Planning Commission have been completed by, or on behalf of, the subdivider.
- F. All topsoil shall be stockpiled during grading activities for later redistribution in landscape areas.
- G. Approval of this project shall be subject to the latest adopted ordinances, resolutions, policies and fees adopted by the City Council at the time of Building Permit review and approval.
- H. All work shall be done according to approved plans on file at the Department of Community Development and as submitted to the Building and Code Compliance Division for a building permit.

- I. Permanent signs shall be durably constructed and continually maintained in accordance with approved plans.
- J. All permanent signing shall be as designated on the approved Improvement Plans and all additional signs shall be approved only upon application to the Department of Community Development and obtaining a building permit.
- K. All permanent exterior signs shall receive Design Review approval prior to obtaining a building permit for the installation of those signs.

II. SPECIFIC PROPERTY DEVELOPMENT STANDARDS

- A. Lots No. 1-171, 183-185, 210-222 as shown on the approved Tentative Map
 - 1. Development on these lots is subject to the "SFI" provisions of the Fountaingrove II Policy Statement (See Appendix "A").
 - 2. Ridgeline Protection
 - a. Applications for Building Permits for the primary residence on Lots 37-39, 43-56, 64-70, 72-78, 82-83, 87-93, 101-104, 114-118 as shown on the approved Tentative Map shall include a detailed site development plan accurately showing the location, size and type of all trees with a trunk diameter of greater than 4 inches, as measured at four feet above grade, on all portions of the lots between the back of the curb and the rear building setback line. The plan shall also accurately show the existing contours of the lot at a contour interval of two feet, all major rock outcroppings, any other significant natural features of the site, and any grading proposed for driveway construction and/or conform grading around the perimeter of the proposed structures(s). The plan shall indicate which trees will be saved and which trees will be removed, and any special measures that will be incorporated in the proposed construction to minimize potential root damage to trees in close proximity to proposed structures. If any structures are proposed to encroach into the dripline of any tree shown on the approved Tentative Map as "tree to be saved", the plan shall be accompanied by a report from a certified arborist stating that the tree has a high probability of survival in the long term and specifying measures that must be incorporated into construction to assist in preserving the tree.

- b. Review of Building Permit applications for these lots, including the detailed site development plan, shall consider the configuration and massing of the proposed dwelling and accessory structures. Proposed structures shall be designed to follow the topography as close as practical by stepping the floor plan and foundation as appropriate. Building and roofing materials and colors shall be chosen so that exposed structures will blend visually with their natural surroundings and will not dominate views from offsite areas to the east and south of these lots.
 3. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
 4. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lots 64, 82, 83: If dwellings on these lots are located within the 60 dBA noise contour shown in the Acoustical Report, operable windows and doors in noise sensitive walls of the lower floor of dwellings on these lots would need to be closed.
 - b. Lots # 1-4, 58-64, 82, 83, 96, 99, 100, 104, 105, 108, 109, 113, 114, 118, 119, 152, 153, 157-159, 210-221: operable windows and doors in noise sensitive walls of the upper floor of dwellings on these lots would need to be closed.
 - c. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.
 - d. Lots #82 and 83: dwellings on these lots shall be designed so that the buildings themselves attenuate traffic noise.
- B. Lots No. 172-182, 186-209 as shown on the approved Tentative Map
 1. Development on these lots is subject to the "SF2" Provisions of the Fountaingrove II Policy Statement (see Appendix "B").
 2. Lot grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools drainage improvements, and minor conform grading.
 3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:

- a. Lot #209: operable windows and doors In noise sensitive walls of the upper floor of the dwelling on this lot would need to be closed.
 - b. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.
- C. Lots No. 223-344 as shown on the approved Tentative Map
 1. Development on these lots is subject to the "SFC" Provisions of the Fountaingrove II Policy Statement and the "SFC" Standards in Appendix "C".
 2. Following any "re-contouring" approved in conjunction with Tentative Map approval, where the average slope is less than 10% and significant trees shown to be saved on the Tentative Map have been protected, grading to facilitate lot drainage and construction of production housing shall be permitted. On other lots, where the average slope is greater than 10% and/or significant trees shown to be saved on the Tentative Map exist, grading shall be limited to driveways, parking areas, garage pads, understructure areas, pools, drainage improvements, and minor conform grading.
 3. Traffic Noise Mitigation - In order to achieve interior noise levels consistent with State standards, as called for in the Acoustical Report prepared by Sound Solutions, dated April 17, 1992, the following steps shall be taken:
 - a. Lots # 308-322: operable windows and doors in noise sensitive walls of the upper floor of dwellings on these lots would need to be closed.
 - b. In situations where windows and doors would need to be closed for the purpose of noise attenuation as noted in (a), above, mechanical ventilation shall be provided, pursuant to the Uniform Building Code.

APPENDIX A - "SFI" STANDARDS

1. The intent of the "SFI" Land Use Area 1s to allow for custom-designed, single family detached unit types on larger lots, generally consistent with the City of Santa Rosa R-1-15 Zone District, as modified herein and by the Fountaingrove II Policy Statement.
2. Permitted Uses:
 - (A) One-family detached dwellings
 - (B) Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - (C) Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - (D) Accessory structures and uses.
 - (E) Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - (A) Minimum Lot Area - 15,000 square feet

 - (B) Minimum Lot Width - 100 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - (C) Minimum Setbacks for Main Building and Accessory Structures shall be as follows, except that larger setbacks are required, as shown on the approved Tentative Map for Lots # 4, 5, 18, 27-38, 43-57, 64, 76-79, 82, 85, 88, 90-95.
 - (1) Front/Street Side Yard - 30 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - (2) Interior Side Yard - 15 feet
 - (3) Rear Yard - 20 feet

 - (4) Detached accessory structures which do not exceed 12 feet- In height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no Interior side or rear yard requirement.

4. Maximum Building Heights

- (A) Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.
- (B) Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.

5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX B - "SF2" STANDARDS

1. The intent of the "SF2" Land Use Area is to allow for custom-designed and/or semi-custom-designed single-family detached unit types, primarily on down-slope lots located on primarily single-loaded, cul-de-sac streets, generally consistent with the City of Santa Rosa R-1-7.5 Zone District, as modified herein and by the Fountaingrove II Policy Statement
2. Permitted Uses:
 - A. One-family detached dwellings
 - B. Churches, public buildings, public utility structures, home occupations, temporary subdivision sales offices and private recreation facilities, for which a membership charge may be made, but which are not open to the general public.
 - C. Health care facilities as provided in Chapter 20-03, Article 10 of the City of Santa Rosa Zoning Ordinance
 - D. Accessory structures and uses.
 - E. Secondary dwelling units.
3. Minimum Lot Dimensions/Setbacks
 - A. Minimum Lot Area - 8,000 square feet
 - B. Minimum Lot Width - 75 feet between the side lot lines, measured at right angles to the lot depth at a point midway between the front and the rear lot lines.
 - C. Minimum Setbacks for Main Building and Accessory Structures:
 - 1) Front/Street Side Yard - 25 feet, except that a reduction to no less than 20 feet may be permitted by Staff on a case-by-case basis, based on topographic and existing vegetation constraints demonstrated during site design review.
 - 2) Interior Side Yard - 10 feet
 - 3) Rear Yard - 20 feet
 - 4) Detached accessory structures which do not exceed 12 feet in height and which have received design review approval and which comply with the conditions of Section 20-05.723-D of the City of Santa Rosa Zoning Code, shall have no interior side or rear yard requirement.
4. Maximum Building Heights
 - A. Main Building - 35 feet, with no point on the building being higher than 35 feet above finished grade at the exterior perimeter of the building immediately beneath that point, chimneys excepted.

- B. Accessory Structures - 16 feet, with no point on the structure being higher than 16 feet above finished grade at the exterior perimeter of the structure immediately beneath that point.
5. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

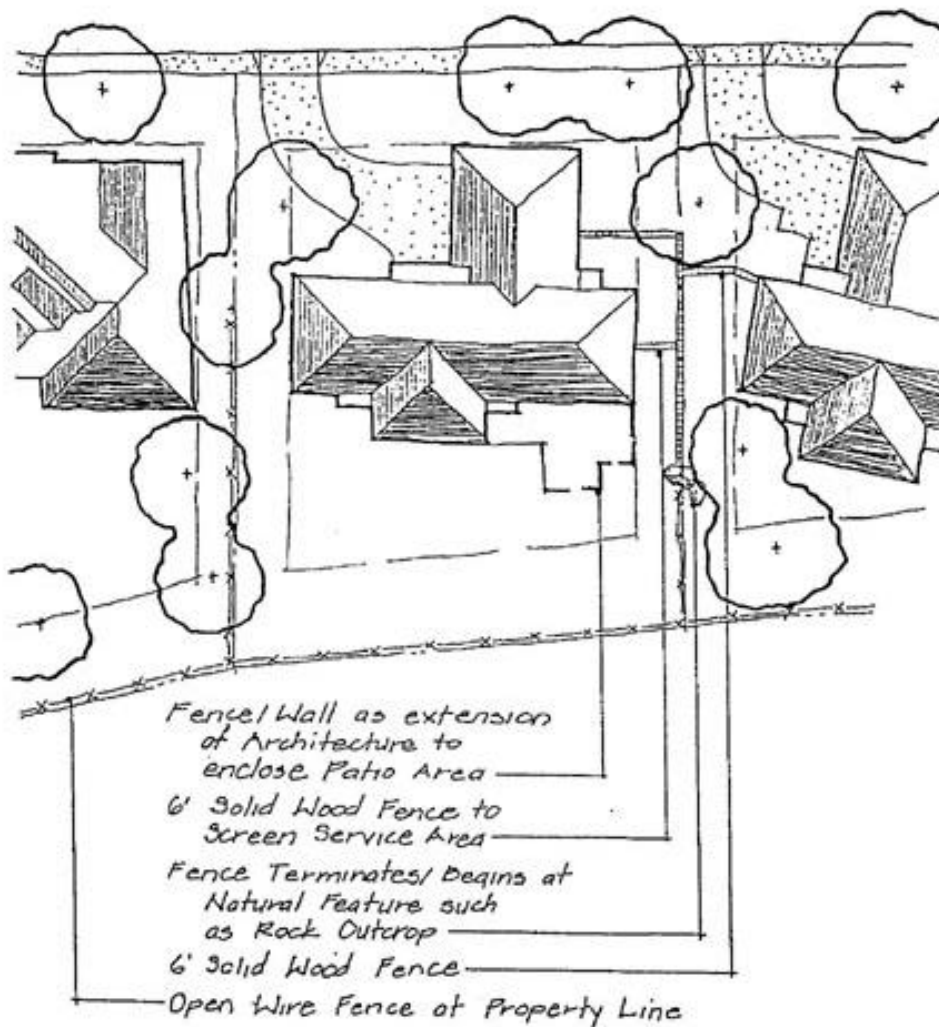
APPENDIX C - "SFC" STANDARDS

1. The intent of this Land Use Area is to allow for primarily detached single family dwelling unit types, consistent with the City of Santa Rosa R-1-6 Zone District.
2. All provisions, standards and requirements of Section 20-03, Article 1.3 of City of Santa Rosa Zoning Code relating to -the R-1-6 Single Family Residential District shall apply to Lots 223-344 as shown on the approved Tentative Map with the exception that interior side yards shall be a minimum of 10 feet. Such provisions, standards, and requirements include, but are not limited to, permitted uses, minimum lot size, minimum lot width, minimum yard setbacks, and maximum building heights for main buildings and accessory structures.
3. Minimum Off-Street Parking Requirements:

A minimum of two (2) covered parking spaces shall be provided for each lot. An average of at least one (1) guest parking space per unit shall be provided either on-street or tandem in driveway. Off-street parking for flag lots shall conform to the provisions of Chapter 20-05, Article 15, "Flag Lots", of the City of Santa Rosa Zoning Code.

APPENDIX "D"

Excerpts from Fountaingrove II Design Program



No Scale

FENCING CONCEPTS

(SF1 & SF2 AREAS)

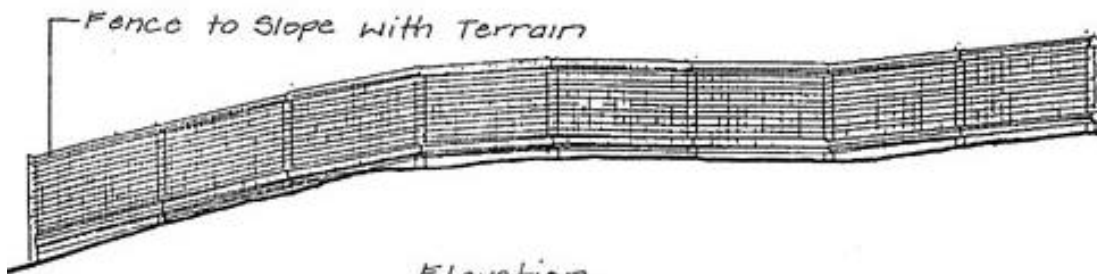
FOUNTAINGROVE II

A PLANNED COMMUNITY

DESIGN PROGRAM

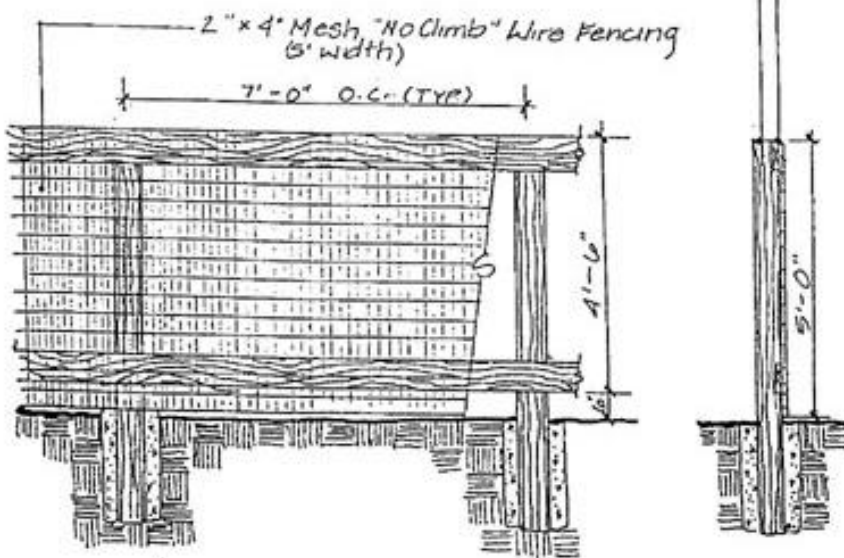


CARLILE / ASSOCIATES
 CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS



Elevation

2" x 6" Pressure Treated Fir Stringers
 6" Ø Pressure Treated Fir
 "peeler Core" Post



Elevation
 scale: 3/16" = 1'-0"

Section
 scale: 3/16" = 1'-0"

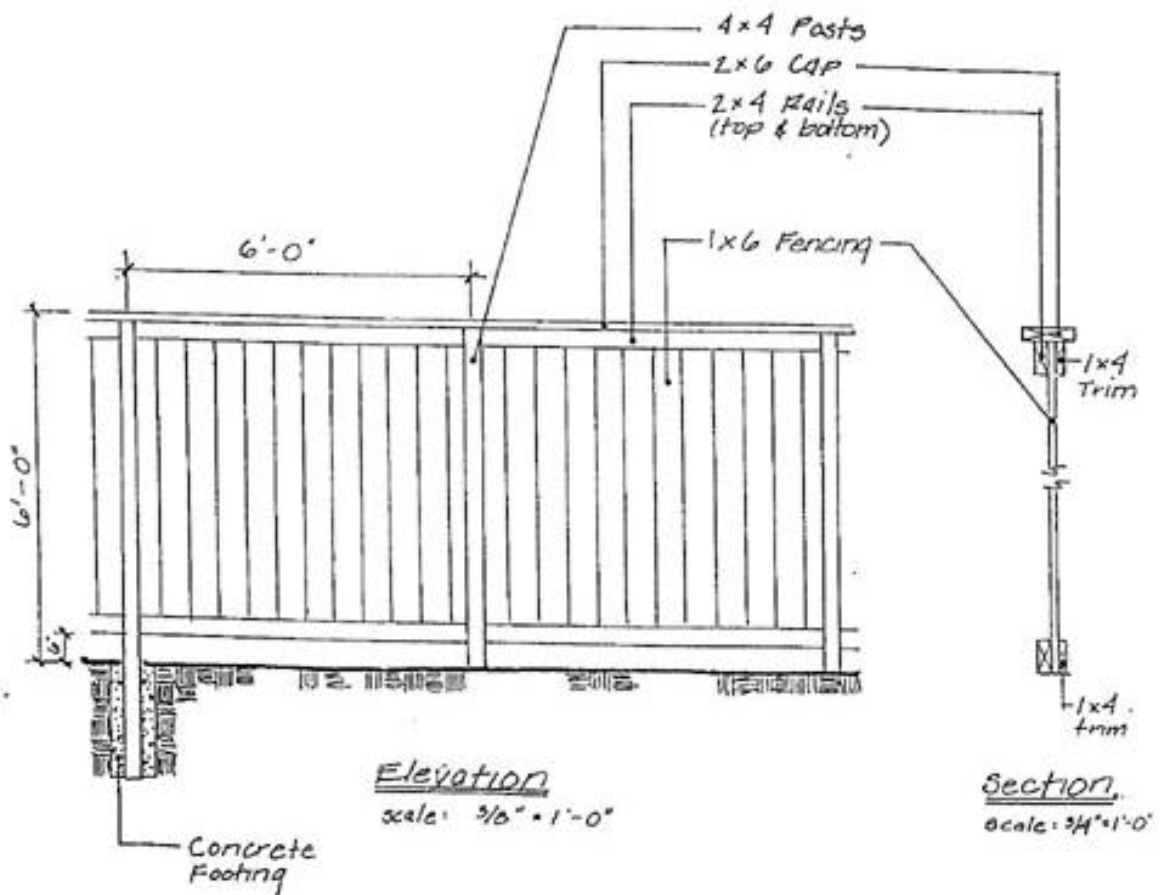
OPEN WIRE FENCE

FOUNTAIN GROVE II
 A PLANNED COMMUNITY
 DESIGN PROGRAM

CA CARLILE / ASSOCIATES
 CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS

Note: All Wood To Be Can. Hrt. Redwood.

JOM 576-7161



SOLID WOOD FENCE

FOUNTAIN GROVE II A PLANNED COMMUNITY DESIGN PROGRAM

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